

TIPS Continued

III Floor Plan

- Draw to minimum scale 1/8" = 1'0" *
- Location of existing walls and new walls (use legend to indicate)*
- Reference indicators to detail
- Title 24, Energy Compliance Forms shall be on the plans (LTG -1, MECH-1 and ENV-1) and have the proper signatures
- Walls shall be dimensioned
- Show existing or new restroom facilities and specific drawings accessibility requirements
- Architectural floor plan(s), dimensioned, all openings listed as to size and operation, all areas and room uses designated, location of occupancy and area separations, and handicap clearances.
- Fire-rated corridor and area separation sections
- Fire-rated constriction source reference and verbatim assembly description
- Stairway section, handrail and guardrails
- Handicap compliance details
- Suspended ceiling details
- Demolition plan

IV ELECTRICAL PLAN

- Location of receptacles and lights
- Light switching requirements per Title 24
- Location of exit signs if required
- Type of lights, manufacturer, wattage of lights, model number and appliance information from Title 24, Energy Calcs.
- Mandatory energy information for lighting. If panels are to be installed, provide single line power drawing showing conduit, connectors and breaker sizes
- Fixture schedules and motor horsepower ratings

V MECHANICAL PLAN

- Show location of HVAC equipment. Provide structural calculations and drawings for members supporting all equipment
- Indicate model number and manufacturer of new HVAC Equipment
- Indicate CFM of new AC units
- Indicate size of outside air for new AC units
- Duct schematic and location of all supply and return outlets
- Fire damper specifications and details

VI PLUMBING PLAN

- Provide a plan view of drain and vent lines
- Fixture locations
- Single line schematic with pipe size calculations

VII DETAILS

- How are walls secured at top and bottom (nails/screws, spacing, etc.)
- If walls are braced at top indicate method to be used (nails/screws, spacing)
- Framing material and spacing
- Insulation values
- Wall cover

NOTE: *Fire sprinkler plans, hydraulic calculations and fire alarm system details will need to be submitted directly to Fire Prevention if applicable, at 345 North El Dorado Street, (209) 937-8338.*

*** ALWAYS REQUIRED**

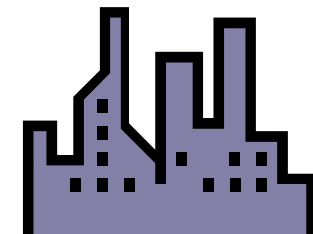
For additional information please call the Community Development Department, Building Division at (209) 937-8561



City of Stockton

TIPS

TENANT
IMPROVEMENT
PROJECT SUBMITTALS



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345 N. El Dorado Street
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TIPS—Tenant Improvement Project Submittals

This brochure has been developed to assist in communicating the correct number, types of plans, and other supporting material necessary for plan review. Submittal documentation usually includes drawings, specifications, calculations and other reports as required.

Adherence to the guidelines in this brochure will provide for a more timely plan check and will assist with efficiently processing applications and advancing plan review. It will provide a method to review submittals for completeness and will insure that the documents submitted serve as a communication tool that enhances communication between the reviewer and the designer.

Furthermore, a complete submittal will provide a standardized, well documented set of drawings and specifications that will be easier for the plan checker to understand and will reduce the time required to review a set of drawings.

Depending on the scope of your project all items may or may not be required. If clarification is necessary, a pre-submittal meeting may be scheduled with plan check staff to determine requirements. Contact the Building Division at (209) 937-8561 to schedule the pre-submittal meeting.

Plans shall be prepared in a professional manner, shall be drawn to scale and shall be of sufficient clarity to indicate the location, nature of and extent of work proposed and shall show in detail that the project will conform to the provisions of the Code, and all relevant Laws, Ordinances, Rules and Regulations.

Candidates for over the counter permit issuance should meet the following criteria:

- a. Continuance of same use
- b. Completely defined scope of work
- c. The existing system would be unaffected or minimal modifications that are easily recognized as meeting the code requirements
- d. Either no engineering or minor engineering, such as a mechanical equipment support beam
- e. If a candidate for unreasonable hardship from disabled access regulations, a completed hardship form
- f. Sprinkled buildings would require prior Fire Department approval
- g. Prior Air Pollution Control District (APCD) approval if any of their six questions are answered “yes”
- h. Projects must be relatively simple, for example be able to be plan checked in less than 15 minutes

The following guidelines represent the requirements for a Tenant Improvement (TI) Submittal.

- 5 sets Construction Plan—Plot, floor, electrical, plumbing, mechanical and framing with appropriate details. Drawings must be prepared by California licensed architect, structural or civil engineer (two sets must be wet stamped) if any structural work is proposed that may affect or change the system or safety of the building*
- Review Disabled Access Requirements*
- 2 sets Structural Calculations
- 2 sets Energy Calculations
- 1 completed permit application*
- 1 completed (OES/APCD) Hazardous Material Declaration*

I COVER SHEET

- Applicable codes and editions
- Description of work*
- Occupancy and type of construction
- Occupant load by occupancy
- Gross area, by floor and building height
- Allowable area calculations
- Index of drawings
- All documents shall be wet signed

Note: See Yosemite ICBO Chapter Policy, Signature, Owner and Designer

II PLOT PLAN

- Street names*
- North arrow*
- Indicate each tenant space and the following about each space:
 - Square footage
 - Type of business
 - Occupancy type
- Show the location of existing or new handicapped parking spaces, path of travel to entrance, path of travel to area of remodel, ramps and signage per Title 24, Accessibility Requirements
- Scale of drawing*
- Location of proposed work*
- Existing and proposed work*
- Existing and proposed structures
- Proximity between structures and property lines
- Vicinity Map
- Utility locations (on-site/off-site)
- Parking layout plan
- Landscape plan