

When May I Start Building?

Construction is allowed to begin only after the permit is issued. Once the permit application and accompanying plans have been submitted, the Community Development Department will examine and process the plans. The plans are reviewed in the order they are received. You will be notified of approval by telephone or by mail with permit fees specified at that time. Permit fees are based on the type and value of the construction to be done.

You will receive your set of "approved" plans and a permit number. Make sure you post the address and the permit number on the site so that inspectors can find the job site. The plans marked "approved" & "job site" must be on the job site at all times for the use of the City Inspectors as well as the contractors. Inspections will not be made if the approved plans are not on the site.

May I Change My Mind?

Yes. If you change your contractor, ask the clerk to revise the application form. If you change your project, submit three sets of plans to the Building Division of the Community Development Department that clearly show the revisions in relationship to the approved plans. These revisions must be approved by the Community Development Department Building Division.

How Much Does a Building Permit & Plan Check Cost?

The cost of a building permit is based upon the valuation of the proposed construction project as determined by the type of construction, size of project and the specific use of the buildings or structures. Mechanical, electrical and plumbing plan check fees are also applied to the plan review process. All Plan Check fees are payable at the time of application submittal.

How Long is the Permit Active?

Once a permit is issued, construction must commence within 180 days. Construction may not stop completely for more than 180 days. If these time periods are exceeded, the permit will automatically expire and a new application for a building permit is necessary.

Typical Items to Check Before Submitting Plans

Ensure that the use, size, height, and location of the building on the development site conforms with the City's Zoning Code. Contact the Community Development Department Planning Division for more information.

Check for the location of any public utility easements on the building site. No construction is allowed on or over such easements. Contact the Public Works Department, in the Permit Center for more information.

Building & Specialty Codes

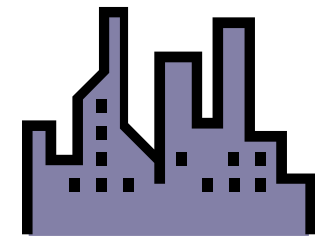
Latest adopted editions of the Model Codes are available for review at the Cesar Chavez Central Library, 605 N. El Dorado Street, Stockton.

For further information, call the Building Division of the Community Development Department at (209) 937-8561. For inspections call the 24-hour inspection request line at (209) 937-8560.



City of Stockton

Construction Permits & Plan Check



City of Stockton
Permit Center
345 N. El Dorado Street
Stockton, CA 95202
(209) 937-8561
(209) 937-8893 (FAX)
www.stocktongov.com

Whatever your planned construction project is, it will probably require application for a permit, a plan check review and inspections. The following questions and answers should help you through the required procedure.

What are Construction Permits?

Construction permits are documents obtained through the Building Division of the Community Development Department which authorize the start of construction or remodeling of a building within the City limits.

There are four common types of permits:

1. Building Permit - Required to construct or modify a building or structure.
2. Electrical Permit - Required to install or modify an electrical system.
3. Plumbing Permit - Required to install or modify a plumbing system.
4. Mechanical Permit - Required to install or modify heating, ventilation, refrigeration, air conditioning and other related systems.

When is a Permit Needed?

A permit is required for any construction that physically changes or adds structures to your property, or for work regulated by City codes or ordinances, such as:

- ◆ New buildings (dwellings, sheds, carports)
- ◆ Additions (buildings, swimming pools, decks over 30" above grade, retaining walls, patio covers)
- ◆ Alterations beyond cosmetic changes, such as converting garages to family rooms
- ◆ Moving or demolishing a building
- ◆ Repairs involving structural members
- ◆ Installation of heating equipment, such as wood burning stoves
- ◆ Changing the use of a structure
- ◆ Reroofing or new roof covering
- ◆ Signs
- ◆ Site development

Who Can Obtain a Construction Permit?

A building permit will be issued to:

1. A property owner
2. A licensed contractor
3. An authorized agent (contact the Building Division of the Community Development Department for requirements).

When a permit is taken out, the signature and identity of the applicant must be verified. A California Driver's License, State of California identification card, or other positive identification will meet this requirement.

Contractors working in the City are required to have a City business license.

What Must I Submit for a Permit?

Submit a completed building permit application form to the Building Division of the Community Development Department, with the APN number, the subdivision of the development site, the general contractors' and subcontractors' information (licensed contractors and subcontractors are necessary if the homeowner does not do his/her own work). The Building Division of the Community Development Department, found in the Permit Center, has the application form.

Submit three (3) complete sets of plans for residential work; five complete sets for commercial work, showing all proposed work and details showing compliance with building codes and zoning ordinances. If plans are not clear or lack detail,

they will be returned to you without review.

A complete Set of Plans Must Include:

- ◆ Plot Plan
- ◆ Foundation Plan
- ◆ Floor Plan
- ◆ Elevations (front, rear, and side views)
- ◆ Cross Section (floor, wall and roof)
- ◆ Details of critical connections
- ◆ Construction details and material specifications
- ◆ Energy/insulation requirements

The plan must show the entire development site, all structures, their size and location on the site, and an arrow indicating which direction is north. Building Plans should be drawn to a scale of not less than one-fourth inch to the foot and must be on at least 18"x24" paper. Any plumbing, electrical, or mechanical work to be done must be noted on the plans.

DELAYS CAN BE COSTLY. You can save yourself a great deal of money (both as a builder and as a taxpayer) as well as valuable time if you review the general regulations outlined and submit plans that will not need major revisions later. **IF YOU CANNOT DRAW UP THE PLANS, OR ARE NOT FAMILIAR WITH CODE REQUIREMENTS, PLEASE SEEK COMPETENT ASSISTANCE BEFORE ATTEMPTING TO APPLY FOR THE PERMIT.** The City staff cannot assist in drafting the plans or designing your project. The plans examiner can only check the completed plans for compliance with the codes.

What is Plan Check?

City Planners and Plans Examiners will review the plans submitted with a building permit application. This may result in design changes to comply with City regulations and buildings codes. The amount of time required for plan check depends on the size and complexity of the project.